

Simplified Approach Stormwater Management Plan Application Packet

For projects adding 500-999 square feet of new impervious coverage, the simplified method for managing stormwater should be followed.

The below documents are required to be completed and submitted with the Stormwater Management Application.

Please see the examples that are enclosed for guidance on how to complete the Simplified Site Plan, Infiltration Trench Detail, Infiltration Trench Notes, and Infiltration Trench Operation and Maintenance.

- Simplified Approach – Stormwater Management Worksheet **(Required)**
- Simplified Approach – Stormwater Management Checklist **(Required)**
- Simplified Site Plan (1 of 4) **(Required)**
- Infiltration Trench Detail (2 of 4) (If applicable)
- Infiltration Trench Notes (3A, 3B, of 4) (If applicable)
- Infiltration Trench Operation and Maintenance Notes (4 of 4) (If applicable)
- Examples of 1, 2, 3A, and 3B
- O&M Agreement Template – Must be signed by all property owners and notarized – the Township will notarize for free **(Required)**
- O&M Escrow Payment in the amount of \$365 (Check should be made payable to East Vincent Township) **(Required)**

Please complete all enclosed forms that are applicable to your project and submit to the Township Office.

Simplified Approach – Stormwater Management Worksheet

Name of Property Owner:		Date:
Name of Applicant [If different than owner(s)]:		
Contact Phone #:	Email Address:	
Address of Project:		
Description of Project:		
Distance from Earth Disturbance to nearest surface water feature (stream, pond, wetland, etc.): <input type="checkbox"/> 50 feet or less <input type="checkbox"/> More than 50 feet		
REGULATED IMPERVIOUS SURFACES*		
Description of Proposed Impervious Surface	Dimensions [length X width]	Area (square feet)
Total Proposed Impervious Surface* (square feet): (If this is less than 500 feet ² , Stormwater Management is not required; if this is more than 999 feet ² , the Simplified Approach may not be used)		
Cumulative Total Impervious Surface Since <i>September 13, 2013</i> (square) feet):		
Total Proposed Earth Disturbance Area (square feet):		
PROPOSED UNDERGROUND INFILTRATION TRENCH SIZING		
Proposed Impervious Area to Trench (square feet)	Proposed Dimensions	
1		
2		
Does the project involve new roof area? <input type="checkbox"/> Yes <input type="checkbox"/> No If yes, the downspout must be connected to the proposed Underground Infiltration Trench and must have measures to prevent clogging by unwanted debris. Indicate the measure proposed: <input type="checkbox"/> Leaf trap <input type="checkbox"/> Gutter guards <input type="checkbox"/> Cleanout <input type="checkbox"/> Other: _____		

Signature: _____ Date: _____
 Printed Name: _____

Simplified Approach – Stormwater Management Checklist

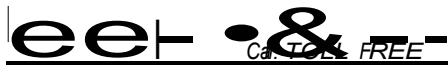
Complete the checklist below to verify all required information is shown on the plan:

Yes	No	Not Applicable	Required Information
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Name and address of the owner of the property.
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Name and address of individual preparing the plan (if different).
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Date of plan preparation.
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	North arrow.
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Location of all existing features within 50 feet of the property, including (if present): <ul style="list-style-type: none"> • Buildings; • Driveways; • Roads; • Water Lines/Wells (or a note that no wells are present within 50 feet of the proposed facility); • Septic Systems/Sewer Mains and Laterals; • Streams, Wetlands, and Floodplains • Existing Stormwater Facilities; and • Easements.
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Location and approximate size in square feet of existing roof area to be captured and diverted to the BMP.
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Location and approximate size in square feet of proposed: <ul style="list-style-type: none"> • Structures; • Driveways; and
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Location, orientation, and dimensions of the proposed Underground Infiltration Trench(es). Length and width must be included on the plan.
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Distance from the proposed Underground Infiltration Trench(es) to any existing surface water features, such as: streams, lakes, ponds, wetlands, or other natural waterbodies. Must be > 50 feet from surface water features or outside of an existing legally described buffer (i.e., deed, covenants, easement, etc.) whichever is greater. Contact the Municipality if this is not possible.
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Distance from the proposed Underground Infiltration Trench(es) to any existing septic system, public sewer line, or lateral.
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Distance from the proposed Underground Infiltration Trench(es) to any existing wells or waterlines.
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Distance from the proposed Underground Infiltration Trench(es) to any existing wells or waterlines.
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Show distance from at least two existing fixed features (e.g., house, shed, driveway) to the proposed Underground Infiltration Trench(es).
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	PA One Call Serial Number (Dial 8-1-1 or 1-800-242-1776) to receive.

NORTH ARROW

DATE

...ci_oi'E-□



1-800-242-1776
THREE WORKING DAYS
BEFORE YOU DIG

PROPERTY OWNER

NAME:
ADDRESS:

PI AN PREPARER

NAME:
ADDRESS:

FOR USE BY MUNICIPAL ENGINEER

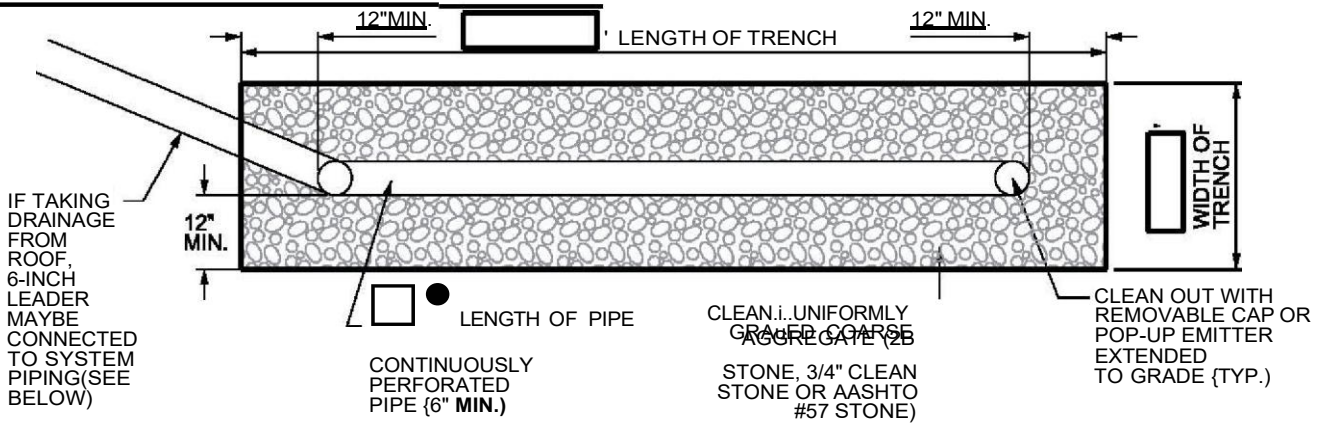
CHESTER COUNTY

PENNSYLVANIA

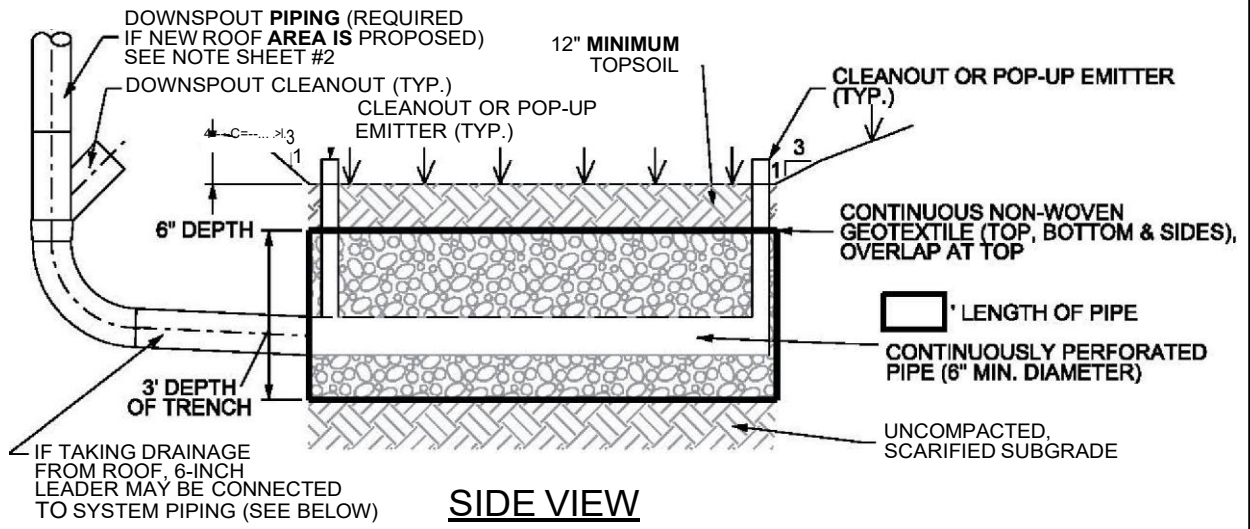
SHEET NO. 1

**SIMPLIFIED
SITE PLAN**

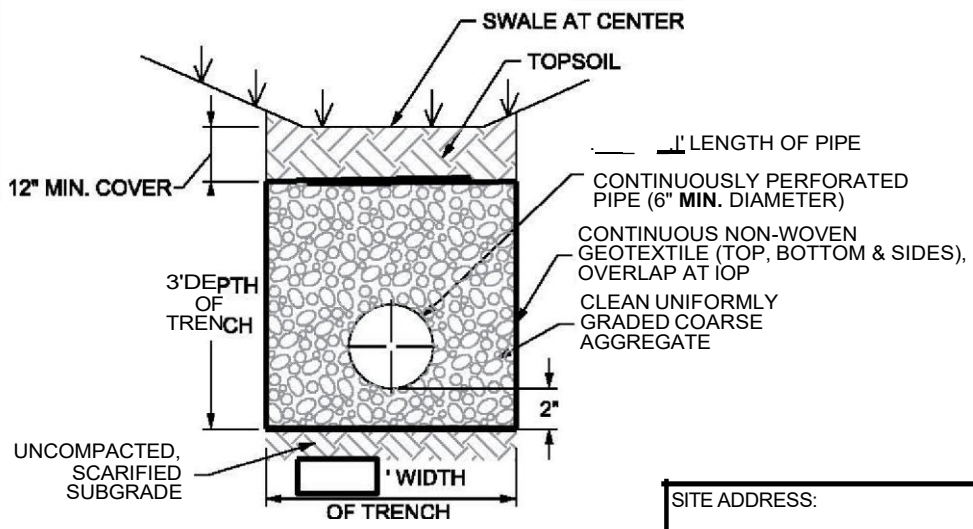
1 OF 4



TOP VIEW



SIDE VIEW



CROSS-SECTION VIEW

SITE ADDRESS:

CHESTER COUNTY PENNSYLVANIA

HEETNO. 2

INFILTRATION TRENCH DETAIL

20F4

DATE:

SCALE: NOT TO SCALE

CEG CEDARVILLE

159 East High Street, Suite #500 | Pottstown, PA 19464
610.705.4500 jOfficeJ | 610.705.4900 {Fax}

NOTES

345-306.M: DURING SITE CONSTRUCTION, ALL INFILTRATION PRACTICE COMPONENTS SHALL BE PROTECTED FROM COMPACTION DUE TO HEAVY EQUIPMENT OPERATION OR STORAGE OF FILL OR CONSTRUCTION MATERIAL. INFILTRATION AREAS SHALL ALSO BE PROTECTED FROM SEDIMENTATION. AREAS THAT ARE ACCIDENTALLY COMPACTED OR GRADED SHALL BE REMEDIATED TO RESTORE SOIL COMPOSITION AND POROSITY. ADEQUATE DOCUMENTATION TO THIS EFFECT SHALL BE SUBMITTED TO THE TOWNSHIP ENGINEER FOR REVIEW. ALL AREAS DESIGNATED FOR INFILTRATION SHALL NOT RECEIVE RUNOFF UNTIL THE CONTRIBUTORY DRAINAGE AREA HAS ACHIEVED FINAL STABILIZATION.

345-306.N: WHERE SEDIMENT TRANSPORT IN THE STORMWATER RUNOFF IS ANTICIPATED TO REACH THE INFILTRATION SYSTEM, APPROPRIATE PERMANENT MEASURES TO PREVENT OR COLLECT SEDIMENT SHALL BE INSTALLED PRIOR TO DISCHARGE TO THE INFILTRATION SYSTEM.

345-306.O: WHERE ROOF DRAINS ARE DESIGNED TO DISCHARGE TO INFILTRATION PRACTICES, THEY SHALL HAVE APPROPRIATE MEASURES TO PREVENT CLOGGING BY UNWANTED DEBRIS (FOR EXAMPLE, SILT, LEAVES AND VEGETATION). SUCH MEASURES SHALL INCLUDE BUT ARE NOT LIMITED TO LEAF TRAPS, GUTTER GUARDS AND CLEANOUTS.

345-306.R: THE FOLLOWING PROCEDURES AND MATERIALS SHALL BE REQUIRED DURING THE CONSTRUCTION OF ALL INFILTRATION TRENCHES:

- (1) EXCAVATION FOR THE INFILTRATION TRENCH SHALL BE PERFORMED WITH EQUIPMENT THAT WILL NOT COMPACT THE BOTTOM OF THE INFILTRATION TRENCH.
- (2) THE BOTTOM OF THE INFILTRATION TRENCH SHALL BE SCARIFIED PRIOR TO THE PLACEMENT OF AGGREGATE.
- (3) ONLY CLEAN AGGREGATE WITH DOCUMENTED POROSITY, FREE OF FINES, SHALL BE ALLOWED.
- (4) THE TOPS AND SIDES OF ALL INFILTRATION TRENCH SHALL BE COVERED WITH DRAINAGE FABRIC. FABRIC SHALL BE NONWOVEN FABRIC ACCEPTABLE TO THE TOWNSHIP ENGINEER.
- (5) STORMWATER SHALL BE DISTRIBUTED THROUGHOUT THE ENTIRE SEEPAGE BED, TRENCH OR LIKE FACILITY AND PROVISIONS FOR THE COLLECTION OF DEBRIS SHALL BE PROVIDED IN ALL FACILITIES.
- (6) PA ONECALL IS REQUIRED BEFORE ANY CONSTRUCTION ACTIVITIES COMMENCE.

TRENCH LENGTH (< 1000 SQUARE FEET OF REGULATED IMPERVIOUS SURFACE)

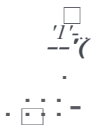
Impervious Surface	4' Wide Trench	5' Wide Trench	6' Wide Trench	7' Wide Trench	8' Wide Trench
	Length of Trench (ft)	Length of Trench (ft)	Length of Trench (ft)	Length of Trench (ft)	Length of Trench (ft)
451-500	8.75	7.00	6.00	5.00	4.50
501-550	9.75	7.75	6.50	5.50	5.00
551-600	10.50	8.50	7.00	6.00	5.25
601-650	11.50	9.25	7.75	6.50	5.75
651-700	12.25	9.75	8.25	7.00	6.25
701-750	13.25	10.50	8.75	7.50	6.75
751-800	14.00	11.25	9.50	8.00	7.00
801-850	15.00	12.00	10.00	8.50	7.50
851-900	15.75	12.50	10.50	9.00	8.00
901-950	16.50	13.25	11.00	9.50	8.50
951-1000	17.50	14.00	11.75	10.00	8.75

* DIMENSIONS IN THIS TABLE HAVE BEEN DETERMINED FOR MANAGING THE 1-INCH RAINFALL RUNOFF VOLUME.

* TRENCH SHOULD BE SIZED BASED ON SQUARE FEET OF ROOF AREA DIRECTED TO THE PROPOSED TRENCH, WHICH MAY NOT EQUAL THE REGULATED IMPERVIOUS SURFACE PROPOSED.

SITE ADDRESS: _____

DATE:



CEG

CEDARVILLE

159 East High Street, Suite Jf500 | Pottstown, PA 19464
610.754.5000 (Office) | 610.705.4900 (Fax)

SCALE:

NOT TO SCALE

CHESTER COUNTY PENNSYLVANIA

INFILTRATION
TRENCH NOTES

SHEET NO. **3A**

3A OF 4

NOTES

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- (3) ONLY CLEAN AGGREGATE WITH DOCUMENTED POROSITY, FREE OF FINES, SHALL BE ALLOWED.
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- (5) STORMWATER SHALL BE DISTRIBUTED THROUGHOUT THE ENTIRE SEEPAGE BED/TRENCH OR LIKE FACILITY AND PROVISIONS FOR THE COLLECTION OF DEBRIS SHALL BE PROVIDED IN ALL FACILITIES.
- (6) PA ONECALL IS REQUIRED BEFORE ANY CONSTRUCTION ACTIVITIES COMMENCE.


TRENCH LENGTH < 1000 SQUARE FEET OF REGULATED IMPERVIOUS SURFACE

Impervious Surface (sf)	4' Wide Trench	5' Wide Trench	6' Wide Trench	7' Wide Trench	8' Wide Trench
	Length of Trench (ft)	Length of Trench (ft)	Length of Trench (ft)	Length of Trench (ft)	Length of Trench (ft)
451-500	23.00	18.25	15.25	13.25	11.50
501-550	25.25	20.25	16.75	14.50	12.75
551-600	27.50	22.00	18.25	15.75	13.75
601-650	29.75	23.75	20.00	17.00	15.00
651-700	32.00	25.75	21.50	18.25	16.00
701-750	34.25	27.50	23.00	19.75	17.25
751-800	36.50	29.25	24.50	21.00	18.25
801-850	39.00	31.25	26.00	22.25	19.50
851-900	41.25	33.00	27.50	23.50	20.75
901-950	43.50	34.75	29.00	25.00	21.75
951-1000	45.75	36.50	30.50	26.25	23.00

* DIMENSIONS IN THIS TABLE HAVE BEEN DETERMINED FOR MANAGING THE DIFFERENCE BETWEEN THE PRE-DEVELOPMENT AND POST-DEVELOPMENT, 2-YEAR FREQUENCY, 24-HOUR DURATION RAINFALL RUNOFF VOLUME

* TRENCH SHOULD BE SIZED BASED ON SQUARE FEET OF ROOF AREA DIRECTED TO THE PROPOSED TRENCH, WHICH MAY NOT EQUAL THE REGULATED IMPERVIOUS SURFACE PROPOSED.

SITE ADDRESS: _____

DATE:	 <p>CEG CEDARVILLE</p>	CHESTER COUNTY PENNSYLVANIA INFILTRATION TRENCH NOTES	SHEET NO. 38
SCALE:	159 East High Street, Suite JF500 Pottstown, PA 19464 610.7.5.4500 (Office) 610.705.4900 (Fax)	38 OF 4	
NOT TO SCALE			

STORMWATER FACILITIES OPERATIONS AND MAINTENANCE PLAN

THE HOMEOWNER WILL BE RESPONSIBLE FOR THE OPERATION AND MAINTENANCE OF ALL STORMWATER AND BMP FACILITIES. THE FACILITIES WILL INCLUDE THE INFILTRATION TRENCH ON THE PROPERTY AS WELL AS ANY YARD OR ROOF DRAINS, PIPING, POP-UP EMITTERS OR CLEAN-OUTS SHOWN ON THIS PLAN.

MAINTENANCE AND OPERATION WILL BE AS FOLLOWS:

1. THE INFILTRATION TRENCH AND CONVEYANCES DESCRIBED IN THIS PLAN SHALL BE INSPECTED ANNUALLY OR AS NEEDED FOLLOWING SIGNIFICANT PRECIPITATION EVENTS TO ASCERTAIN IF ANY SEDIMENT IS ENTERING THE FACILITIES. THE INFILTRATION TRENCH AND CONVEYANCES DESCRIBED IN THIS PLAN SHALL BE CLEANED IF NECESSARY. CLEANING WILL CONSIST OF REMOVING THE ACCUMULATED SILT, DEBRIS, OR SEDIMENT.
2. THE OVERLYING VEGETATION ON THE INFILTRATION TRENCH SHALL BE MAINTAINED IN GOOD CONDITION, AND ANY BARE SPOTS RE-VEGETATED AS SOON AS POSSIBLE.
3. VEHICULAR ACCESS ON THE INFILTRATION TRENCH SHOULD BE PROHIBITED, AND CARE SHOULD BE TAKEN TO AVOID EXCESSIVE COMPACTION BY MOWERS.
4. REPAIR ALL DAMAGED PIPING, CLEAN-OUTS, AND POP-UP EMITTERS PROMPTLY TO PREVENT SEDIMENT FROM ENTERING THE SYSTEM. SPECIAL CARE SHOULD BE TAKEN TO AVOID DAMAGING EXPOSED ELEMENTS WITH MOWERS AND/OR STRING TRIMMERS.
5. GRASSES OVER THE INFILTRATION TRENCH SHALL BE MOWED AT LEAST TWICE EACH YEAR. TREES AND SHRUBS SHOULD NOT BE PERMITTED TO GROW ABOVE THE INFILTRATION TRENCH.

SITE ADDRESS:

DATE:



CEG
CEDARVILLE

159 East High Street Suite *500 | Pottstown, PA 19464
610.705.4500 !Office | 610.705.4900 !Fax)

CHESTER COUNTY PENNSYLVANIA

**INFILTRATION TRENCH
OPERATION &
MAINTENANCE NOTES**

SHEET NO. 4

SCALE:
NOT TO SCALE

40F4

PROPERTY LINE

NORTH ARROW

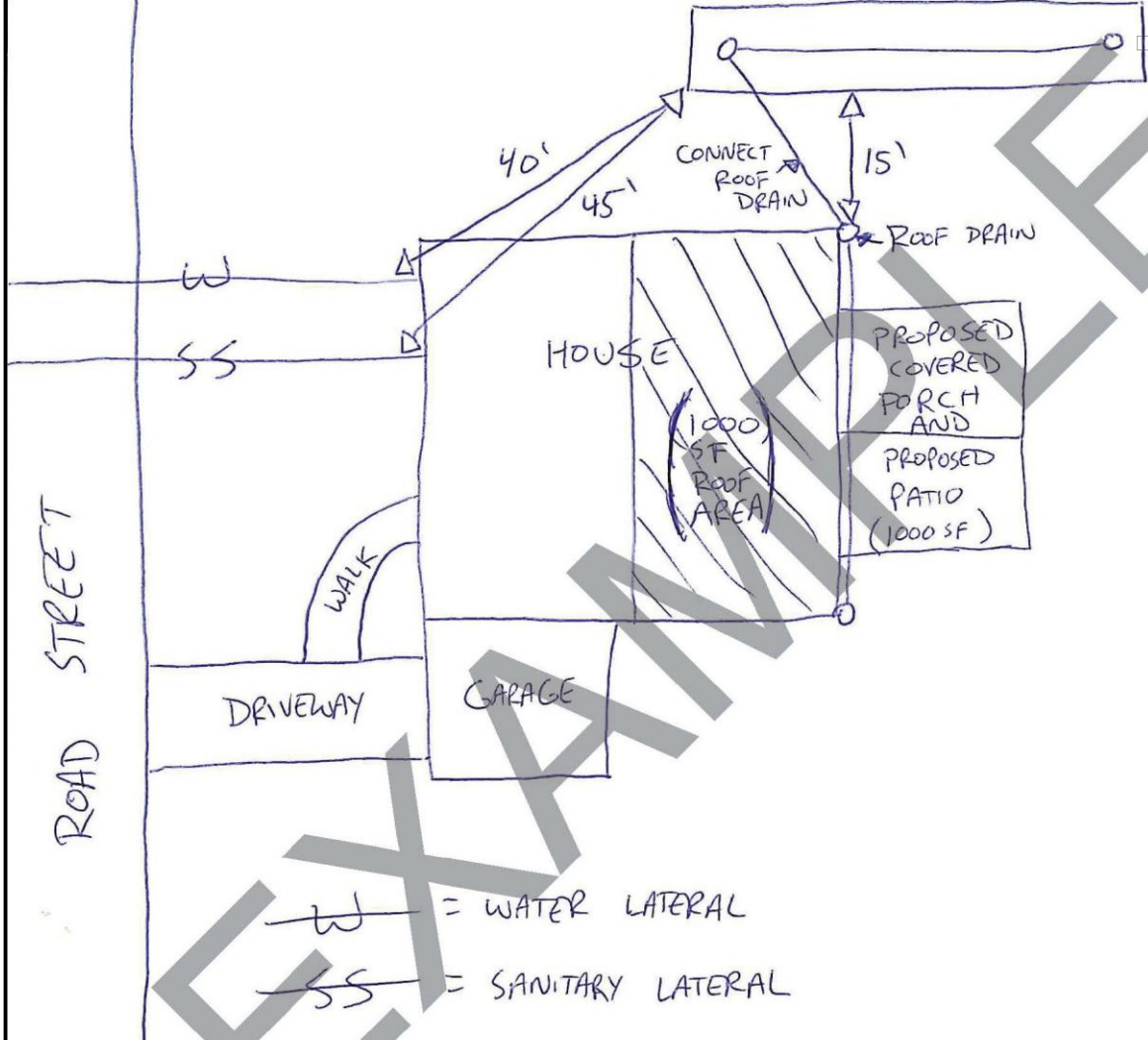


DATE

7/5/11



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T(2.£Nc.11
(n\,S\3\)
w/ 5'5" °PEZ.t,
PtPe



W = WATER LATERAL
SS = SANITARY LATERAL



Underground Service Alert
Call: TOLL FREE
1-800-242-1776
THREE WORKING DAYS
BEFORE YOU DIG

PROPERTY OWNER
NAME: 0<1>-1,-J '5(n,T/-f
ADDRESS: (0-- f2.oAD s,(2. TDw,)J P.A 0773

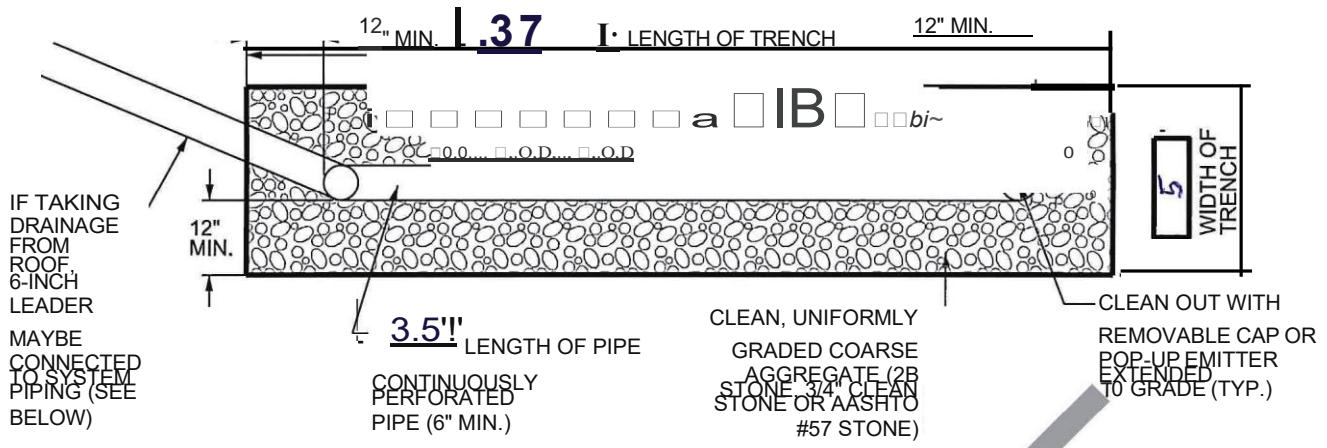
PLAN PREPARER
NAME: 54(V) (f{3ove
ADDRESS:

FOR USE BY MUNICIPAL ENGINEER

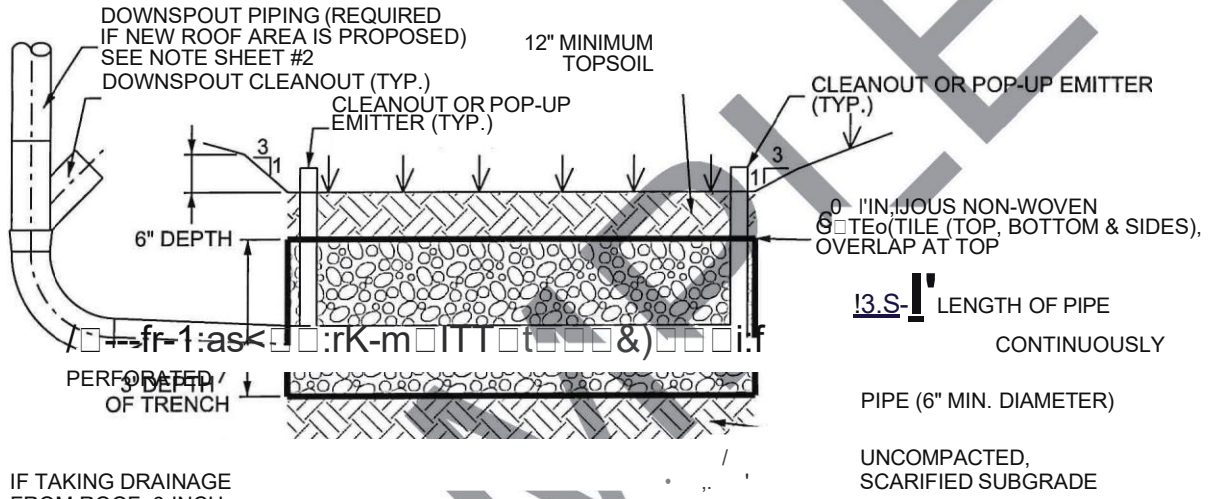
C H E S T E R C O U N T Y P E N N S Y L V A N I A SHEET NO. J

**SIMPLIFIED
SITE PLAN**

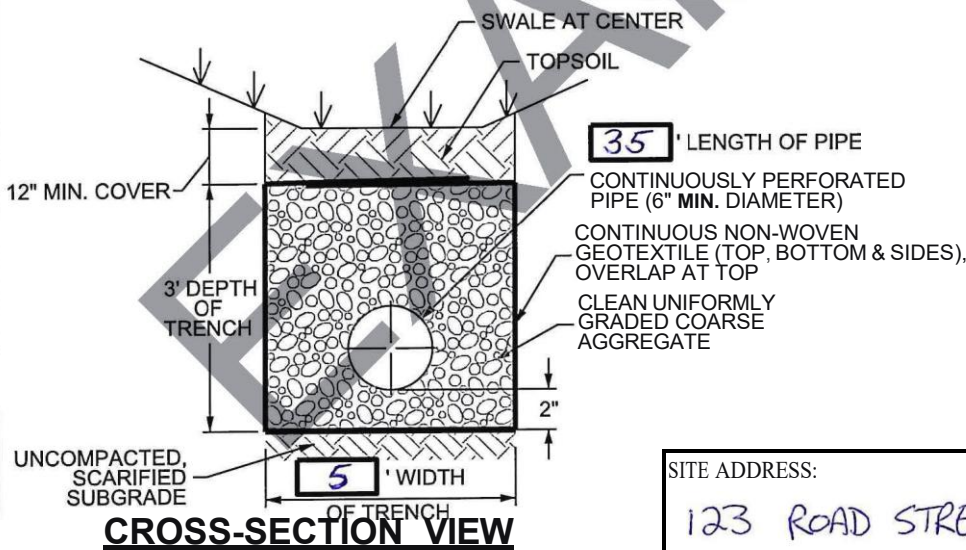
1 OF 4



TOP VIEW



SIDE VIEW



CROSS-SECTION VIEW

SITE ADDRESS:
123 ROAD STREET, TOWN PA 0773

DATE:
7/8/21

SCALE:
NOT TO SCALE

CEG
CEDARVILLE

159 East High Street Suite #500 | Pottstown, PA 19464
610.7D5.4500 /Office/ | 610.705.4900 /Fax/

CHESTER COUNTY PENNSYLVANIA

INFILTRATION TRENCH DETAIL

SHEET NO. **2**

20F4

NOTES

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TRENCH LENGTH (< 1000 SQUARE FEET OF REGULATED IMPERVIOUS SURFACE)

Impervious Surface	4' Wide Trench		7' Wide Trench		8' Wide Trench	
	Length of Trench (ft)		Length of Trench (ft)		Length of Trench (ft)	
451-500	8.75		5.00	4.50		
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751-800		9.50	8.00	7.00		
801-850		10.00	8.50	7.50		
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951-1000	17.50		10.00	8.75		

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SITE ADDRESS:

1200 S 2nd St, Pottstown, PA 19362

DATE:

10/1/2020

CE G
CEDARVILLE

159 East High Street Suite 11500 | Pottstown, PA 19362
610.705.4500 (Office) | 610.705.4900 (Fax)

CHESTER COUNTY PENNSYLVANIA

**INFILTRATION
TRENCH NOTES**

HEET NO. **3A**

3A OF 4

SCALE:
NOT TO SCALE

NOTES

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- (6) PA ONECALL IS REQUIRED BEFORE ANY CONSTRUCTION ACTIVITIES COMMENCE.

TRENCH LENGTH (< 1000 SQUARE FEET OF REGULATED IMPERVIOUS SURFACE)

Impervious Surface (sf)	4' Wide Trench Length of Trench (ft)	5' Wide Trench Length of Trench (ft)	6' Wide Trench Length of Trench (ft)	7' Wide Trench Length of Trench (ft)	8' Wide Trench Length of Trench (ft)
451-500	23.00	18.25	15.25	13.25	11.50
501-550	25.25	20.25	16.75	14.50	12.75
551-600	27.50	22.00	18.25	15.75	13.75
601-650	29.75	23.75	20.00	17.00	15.00
651-700	32.00	25.75	21.50	18.25	16.00
701-750	34.25	27.50	23.00	19.75	17.25
751-800	36.50	29.25	24.50	21.00	18.25
801-850	39.00	31.25	26.00	22.25	19.50
851-900	41.25	33.00	27.50	23.50	20.75
901-950	43.50	34.75	29.00	25.00	21.75
951-1000	45.75	36.50	30.50	26.25	23.00

* DIMENSIONS IN THIS TABLE HAVE BEEN DETERMINED FOR MANAGING THE DIFFERENCE BETWEEN THE PRE-DEVELOPMENT AND POST-DEVELOPMENT, 2-YEAR FREQUENCY, 24-HOUR DURATION RAINFALL RUNOFF VOLUME

* TRENCH SHOULD BE SIZED BASED ON SQUARE FEET OF ROOF AREA DIRECTED TO THE PROPOSED TRENCH, WHICH MAY NOT EQUAL THE REGULATED IMPERVIOUS SURFACE PROPOSED.

SITE ADDRESS:

123 ROAD STREET, TOWN PA 07734

DATE:

7/8/21



CEG
CEDARVILLE

159 East High Street, Suite 11500 | Pottstown, PA 19464
610.705.4500 /Office) 1 610.705.4900 /Fax)

CHESTER COUNTY PENNSYLVANIA

**INFILTRATION
TRENCH NOTES**

HEETNO. 38

3BOF4

SCALE:

NOT TO SCALE

NOTES

□ 345-306.M: DURING SITE CONSTRUCTION, ALL INFILTRATION PRACTICE COMPONENTS SHALL BE PROTECTED FROM COMPACTION DUE TO HEAVY EQUIPMENT OPERATION OR STORAGE OF FILL OR CONSTRUCTION MATERIAL. INFILTRATION AREAS SHALL ALSO BE PROTECTED FROM SEDIMENTATION. AREAS THAT ARE ACCIDENTALLY COMPACTED OR GRADED SHALL BE REMEDIATED TO RESTORE SOIL COMPOSITION AND POROSITY. ADEQUATE DOCUMENTATION TO THIS EFFECT SHALL BE SUBMITTED TO THE TOWNSHIP ENGINEER FOR REVIEW. ALL AREAS DESIGNATED FOR INFILTRATION SHALL NOT RECEIVE RUNOFF UNTIL THE CONTRIBUTORY DRAINAGE AREA HAS ACHIEVED FINAL STABILIZATION.

□ 345-306.N: WHERE SEDIMENT TRANSPORT IN THE STORMWATER RUNOFF IS ANTICIPATED TO REACH THE INFILTRATION SYSTEM, APPROPRIATE PERMANENT MEASURES TO PREVENT OR COLLECT SEDIMENT SHALL BE INSTALLED PRIOR TO DISCHARGE TO THE INFILTRATION SYSTEM.

□ 345-306.O: WHERE ROOF DRAINS ARE DESIGNED TO DISCHARGE TO INFILTRATION PRACTICES, THEY SHALL HAVE APPROPRIATE MEASURES TO PREVENT CLOGGING BY UNWANTED DEBRIS (FOR EXAMPLE, SILT, LEAVES AND VEGETATION). SUCH MEASURES SHALL INCLUDE BUT ARE NOT LIMITED TO LEAF TRAPS, GUTTER GUARDS AND CLEANOUTS.

□ 345-306.R: THE FOLLOWING PROCEDURES AND MATERIALS SHALL BE REQUIRED DURING THE CONSTRUCTION OF ALL INFILTRATION TRENCHES:

- (1) EXCAVATION FOR THE INFILTRATION TRENCH SHALL BE PERFORMED WITH EQUIPMENT THAT WILL NOT COMPACT THE BOTTOM OF THE INFILTRATION TRENCH.
- (2) THE BOTTOM OF THE INFILTRATION TRENCH SHALL BE SCARIFIED PRIOR TO THE PLACEMENT OF AGGREGATE.
- (3) ONLY CLEAN AGGREGATE WITH DOCUMENTED POROSITY, FREE OF FINES SHALL BE ALLOWED.
- (4) THE TOPS AND SIDES OF ALL INFILTRATION TRENCH SHALL BE COVERED WITH DRAINAGE FABRIC. FABRIC SHALL BE NONWOVEN FABRIC ACCEPTABLE TO THE TOWNSHIP ENGINEER.
- (5) STORMWATER SHALL BE DISTRIBUTED THROUGHOUT THE ENTIRE PERIMETER OF TRENCH LIKE FACILITY AND PROVISIONS FOR THE COLLECTION OF DEBRIS SHALL BE PROVIDED AT ALL ACCESS POINTS.
- (6) PA ONECALL IS REQUIRED BEFORE ANY CONSTRUCTION ACTIVITIES COMMENCE.

TRENCH LENGTH (1000-2000 SQUARE FEET OF REGULATED IMPERVIOUS SURFACE)


Impervious Surface (sf)	4' Wide Trench Length of Trench (ft)	5' Wide Trench Length of Trench (ft)	6' Wide Trench Length of Trench (ft)	7' Wide Trench Length of Trench (ft)	8' Wide Trench Length of Trench (ft)
1000	46.75	36.75	30.00	26.25	23.50
1001-1050	48.00	38.50	31.25	27.50	24.00
1051-1100	49.25	39.25	32.75	28.25	24.75
1101-1150	50.25	40.25	33.50	28.75	25.25
1201-1250	54.75	44.00	36.50	31.50	27.50
1251-1300	59.50	47.50	39.75	34.00	29.75
1301-1350	61.75	49.25	41.25	35.25	31.00
1351-1400	64.00	51.50	42.75	36.50	32.00
1401-1450	66.25	53.00	44.25	38.00	33.25
1451-1500	68.50	54.75	45.75	39.25	34.25
1501-1550	71.00	56.75	47.25	40.50	35.50
1551-1600	73.00	58.50	48.75	41.75	36.50
1601-1650	75.25	60.25	50.25	43.00	37.75
1651-1700	77.75	62.25	51.75	44.50	39.00
1701-1750	80.00	64.00	53.25	45.75	40.00
1751-1800	82.25	65.75	54.75	47.00	41.25
1801-1850	84.50	67.50	56.25	48.25	42.25
1851-1900	86.75	69.50	58.00	49.75	43.50
1901-1950	89.00	71.25	59.50	51.00	44.50
1951-1999	91.25	73.00	61.00	52.75	45.75

* DIMENSIONS IN THIS TABLE HAVE BEEN DETERMINED FOR MANAGING THE DIFFERENCE BETWEEN THE PRE-DEVELOPMENT AND POST-DEVELOPMENT, 2-YEAR FREQUENCY, 24-HOUR DURATION RAINFALL RUNOFF VOLUME

* TRENCH LENGTHS LISTED ARE BASED ON SQUARE FEET OF IMPERVIOUS SURFACE. DIMENSIONS MAY NOT EQUAL THE REGULATED IMPERVIOUS SURFACE PROPOSED.

SITE ADDRESS: _____

0.25/1 V 5-00FT, <AM RA 077 3
F-n r 1

DATE: 7/8/21	 CEG CEDARVILLE	CHESTER COUNTY PENNSYLVANIA INFILTRATION TRENCH NOTES	SHEET NO. <u>3C</u> 3COF 4
SCALE: NOT TO SCALE	159 East High Street, Suite 11500 Pottstown, PA 19464 610.705.4500 (Office) 610.705.4900 (Fax)		


STORMWATER FACILITIES OPERATIONS AND MAINTENANCE PLAN

THE HOMEOWNER WILL BE RESPONSIBLE FOR THE OPERATION AND MAINTENANCE OF ALL STORMWATER AND BMP FACILITIES. THE FACILITIES WILL INCLUDE THE INFILTRATION TRENCH ON THE PROPERTY AS WELL AS ANY YARD OR ROOF DRAINS, PIPING, POP-UP EMITTERS OR CLEAN-OUTS SHOWN ON THIS PLAN.

MAINTENANCE AND OPERATION WILL BE AS FOLLOWS:

1. THE INFILTRATION TRENCH AND CONVEYANCES DESCRIBED IN THIS PLAN SHALL BE INSPECTED ANNUALLY OR AS NEEDED FOLLOWING SIGNIFICANT PRECIPITATION EVENTS TO ASCERTAIN IF ANY SEDIMENT IS ENTERING THE FACILITIES. THE INFILTRATION TRENCH AND CONVEYANCES DESCRIBED IN THIS PLAN SHALL BE CLEANED IF NECESSARY. CLEANING WILL CONSIST OF REMOVING THE ACCUMULATED SILT, DEBRIS, OR SEDIMENT.
2. THE OVERLYING VEGETATION ON THE INFILTRATION TRENCH SHALL BE MAINTAINED IN GOOD CONDITION, AND ANY BARE SPOTS RE-VEGETATED AS SOON AS POSSIBLE.
3. VEHICULAR ACCESS ON THE INFILTRATION TRENCH SHOULD BE PROHIBITED, AND CARE SHOULD BE TAKEN TO AVOID EXCESSIVE COMPACTION BY MOWERS.
4. REPAIR ALL DAMAGED PIPING, CLEAN-OUTS, AND POP-UP EMITTERS PROMPTLY. SPECIAL CARE SHOULD BE TAKEN TO AVOID DAMAGE TO THE INFILTRATION TRENCH AND CONVEYANCES. ELEMENTS WITH MOWERS AND/OR STRING TRIMMERS.
5. GRASSES OVER THE INFILTRATION TRENCH SHALL BE MOWED AT LEAST TWICE EACH YEAR. TREES AND SHRUBS SHOULD NOT BE PERMITTED TO GROW ABOVE THE INFILTRATION TRENCH.

EXAMPLE

		SITE ADDRESS: 1a <input type="checkbox"/> i2oA·D 5wif-r; fbt,OrJ PA 0-773y	
DATE: 7/8/21	 <p>CEG CEDARVILLE</p>	CHESTER COUNTY PENNSYLVANIA INFILTRATION TRENCH OPERATION & MAINTENANCE NOTES	SHEETNO. <u>4</u> 40F 4
SCALE: NOT TO SCALE	159 East High Street, Suite 11500 Pottstown, PA 19464 610.705.4500 (Office) 610.705.4900 (Fax)		

Record and Return to: East Vincent Township
262 Ridge Road
Spring City, PA 19475

UPI No.: _____

Address: _____

**STORMWATER BEST MANAGEMENT PRACTICES
OPERATIONS, MAINTENANCE, AND INSPECTION AGREEMENT**

It is the property owner’s responsibility to properly maintain BMPs. It is also the property owner’s responsibility to inform any future buyers of the function, operation, and maintenance needed for any BMPs on the property prior to the purchase of the property. The following maintenance agreement outlines the maintenance required for each type of BMP, the responsibilities of the property owner, and the rights of the Township in regard to inspection and enforcement of the maintenance requirements. The Operation and Maintenance Agreement must be signed and submitted to the Township.

THIS AGREEMENT, made and entered into this _____ day of _____, 20__, by and between _____, (hereinafter the “Landowner”), and East Vincent Township, Chester County, Pennsylvania, (hereinafter “Township”);

WHEREAS, the Landowner is the owner of certain real property as recorded by deed in the land records of Chester County, Pennsylvania, Deed Book _____ at Page _____, (hereinafter “Property”); The Property is more fully identified and described on **Exhibit “A”** attached hereto and made part hereof, and,

WHEREAS, the Landowner _____ recognizes that the stormwater management best management practices or BMPs (hereinafter referred to as “the BMP” or “BMPs”) must be maintained for the _____, located at _____

_____ (address of property where BMP is located);

and,

WHEREAS, the Township and the Landowner, its administrators, executors, successors, heirs, or assigns, agree that the health, safety, and welfare of the residents of the Township and the protection and maintenance of water quality require that on-site stormwater Best Management Practices be constructed and maintained on the property; and,

WHEREAS, the Landowner is required to inform future buyers of the property about the function of, operation, and maintenance requirements of the BMP or BMPs prior to the purchase of the property by said future buyer, and upon purchase of the property the future buyer assumes all responsibilities as Landowner and must comply with all components of this agreement.

WHEREAS, for the purposes of this agreement, the following definition shall apply:

- BMP – “Best Management Practice;” activities, facilities, designs, measures, or procedures used to manage stormwater impacts from land development, to protect and maintain water quality and groundwater recharge, and to otherwise meet the purposes of the East Vincent Township Stormwater Management Ordinance, including, but not limited to, infiltration trenches, dry wells, bioretention, rain gardens, permeable paving, rain barrels, and cisterns.

WHEREAS, it is required that the BMP or BMPs as shown on the simple sketch plan further referred to as the “Plan” and in accordance with the sizing calculations found on the simplified method worksheet further referred to as the “Calculation Worksheet” be constructed and maintained by the Landowner, its administrators, executors, successors, heirs, or assigns.

WHEREAS, the Township requires that stormwater management BMPs be constructed and adequately operated and maintained by the Landowner, its administrators, executors, successors, heirs, or assigns, in accordance with the following maintenance requirements.

- Vegetation along the surface of an infiltration trench should be maintained in good condition, and any bare spots should be revegetated as soon as possible.

- Vehicles shouldn't be parked or driven on an infiltration trench, and care should be taken to avoid excessive compaction by mowers.
- Any debris such as leaves blocking flow from reaching an infiltration trench or bioretention/rain garden should be routinely removed.
- While vegetation is being established, pruning and weeding may be required for a bioretention/rain garden.
- Mulch in a bioretention/rain garden needs to be re-spread when erosion is evident. Once every two to three years or after major storms the entire area may require mulch replacement.
- At least twice a year the landowner needs to inspect the bioretention/rain garden for sediment buildup and vegetative conditions.
- During periods of extended drought, the bioretention/rain garden requires watering.
- Trees and shrubs in a bioretention/rain garden need to be inspected at least twice per year by the landowner to evaluate their health. If they are in poor health, they need to be replaced.
- Dry wells need to be inspected by the landowner at least four times a year and after significant rainfalls, and debris/trash, sediment, and any other waste material need to be removed and disposed of at suitable disposal/recycling sites and in compliance with local, state, and federal waste regulations.
- For dry wells, gutters need to be regularly cleaned out, and proper connections must be maintained to facilitate the effectiveness of the dry well.
- The filter screen for the dry well that intercepts roof runoff must be replaced as necessary.
- Dry wells that are damaged need to be fixed or replaced within two weeks of being damaged.
- If an intermediate sump box exists in conjunction with a dry well, it must be cleaned out at least once per year.
- Rain barrels and cisterns need to be cleared of debris routinely at least every three months and after significant storms to allow stormwater from gutters to enter them.

- Gutters that directly convey rain water to dry wells, rain barrels, and cisterns need to be routinely cleared of trash and debris at least every three months and after significant storms.
- Rain barrels and cisterns must be kept covered.
- Rain barrels and cisterns should be routinely emptied so that they are only ¼ of the way full to allow for storage of additional rainwater.
- Overflow outlets from rain barrels and cisterns must be kept free and clear of debris.
- Rain barrels and cisterns that are damaged need to be fixed or replaced within two weeks of being damaged.

NOW, THEREFORE, in consideration of the foregoing promises, the mutual covenants contained herein, and the following terms and conditions, the parties hereto agree as follows:

1. The BMPs shall be constructed by the Landowner in accordance with specifications identified in the Plan and Calculation Worksheet.
2. The Landowner shall operate and maintain the BMP(s) as shown on the Plan in good working order acceptable to the Township and in accordance with the specific maintenance requirements outlined in this agreement.
3. The Landowner hereby grants permission to the Township, its authorized agents, and employees to enter upon the property at reasonable times and upon presentation of proper identification, to inspect the BMP(s) whenever it deems necessary. Whenever possible, the Township shall notify the Landowner prior to entering the property.
4. In the event that the Landowner fails to operate and maintain the BMP(s) as shown on the Plan in good working order acceptable to the Township, the Township or its representatives may enter upon the property and take whatever action is deemed necessary to maintain said BMP(s). This provision shall not be construed to allow the Township to erect any permanent structure on the land of the Landowner. It is expressly understood and agreed that the Township is under no obligation to maintain or repair said facilities, and in no event shall this Agreement be construed to impose any such obligation on the Township.

5. In the event that the Township, pursuant to this Agreement, performs work of any nature, or expends any funds in performance of said work for labor, use of equipment, supplies, materials, and the like, the Landowner shall reimburse the Township for all expenses (direct and indirect) incurred within ten days of receipt of an invoice from the Township.
6. The intent and purpose of this Agreement is to ensure the proper maintenance of the on-site BMP(s) by the Landowner; provided, however, that this Agreement shall not be deemed to create or affect any additional liability of any party for damage alleged to result from or be caused by stormwater runoff.
7. The Landowner, its executors, administrators, assigns, heirs, and other successors in interests, shall release the Township's employees and designated representatives from all damages, accidents, casualties, occurrences, or claims which might arise or be asserted against said employees and representatives from the construction, presence, existence, or maintenance of the BMP(s) by the Landowner or Township. In the event that a claim is asserted against the Township, its designated representatives, or employees, the Township shall promptly notify the Landowner and the Landowner shall defend, at his own expense, any suit based on the claim. If any judgment or claims against the Township's employees or designated representatives shall be allowed, the Landowner shall pay all costs and expenses regarding said judgment or claim.

This Agreement shall be recorded at the Office of the Recorder of Deeds of Chester County, Pennsylvania, and shall constitute a covenant running with the Property and/or equitable servitude, and shall be binding on the Landowner, his administrators, executors, assigns, heirs, and any other successors in interests, in perpetuity.

[SIGNATURE PAGE TO FOLLOW]

LANDOWNER(S)

Witness/Attest

Name: _____

Title: _____

Name: _____

Title: _____

Witness/Attest

Name: _____

Title: _____

Name: _____

Title: _____

ACKNOWLEDGEMENT

COMMONWEALTH OF PENNSYLVANIA :
 : SS.
COUNTY OF :

On the _____ day of _____, 20__, before me, the undersigned officer, personally appeared _____, who acknowledged himself to be the person who executed the foregoing Agreement, and being authorized to do so, did so for the purposes therein contained, intending that the same might be recorded as such.

IN WITNESS WHEREOF, I have hereunto set my hand and seal.

Notary Public

Exhibit "A"

Deed for Property